

# SEAN MCDERMOTT STREET POOL

Project Update  
December 2022

# Sean McDermott Street Pool Upgrade 2023



- Re-tile damaged areas of pool hall, deck and basin
- Recover the existing roof
- Repair the roof structural deck at the point of a leak, and repaint the roof trusses
- Some electrical and ventilation works are also included.
- Some reconfiguration of the reception area including providing more public space
- Recladding and decoration of the building façade to provide a more modern welcoming centre.

# Existing Pool Location



# Existing Building



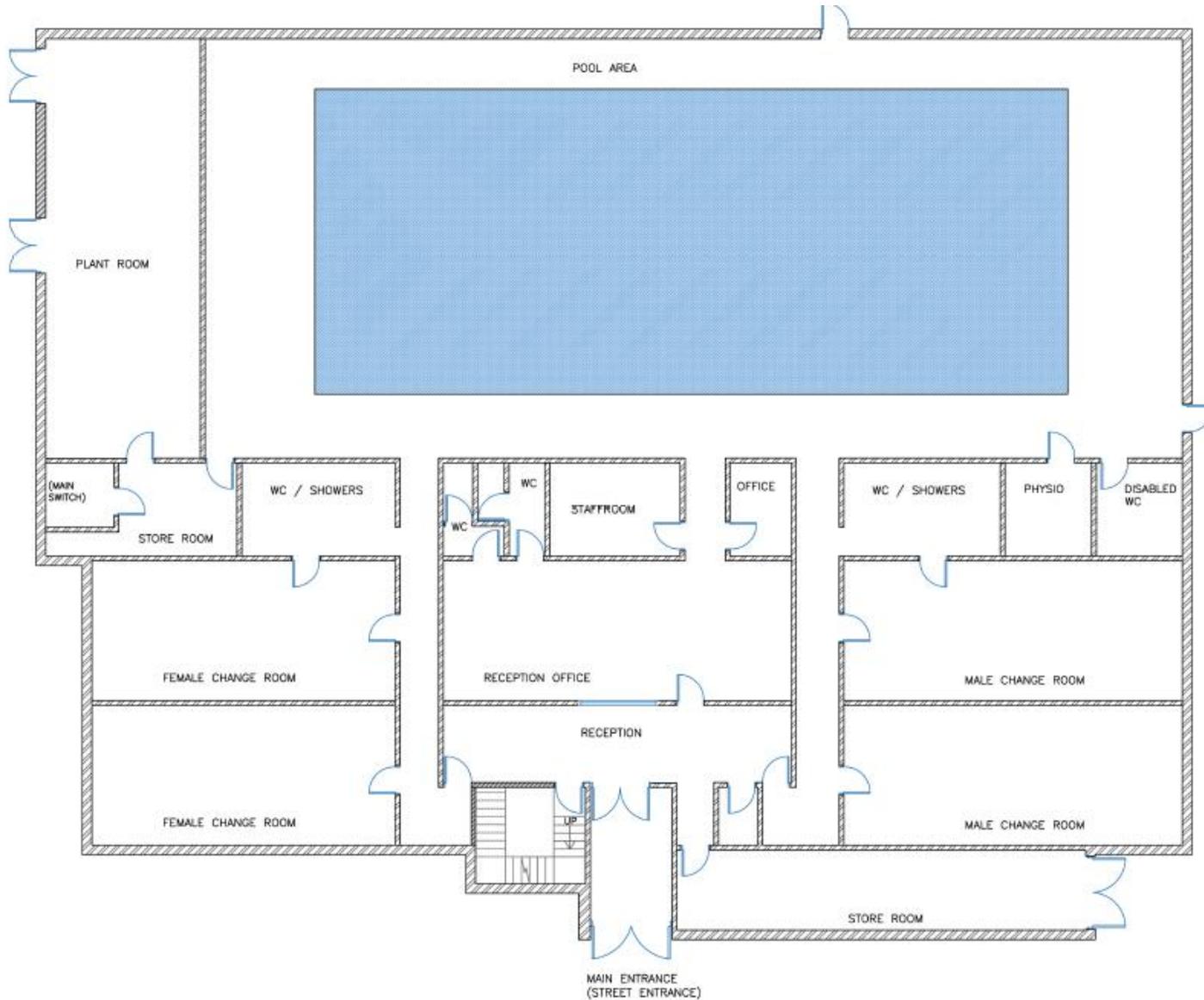
Existing Sean McDermott Street Swimming Pool



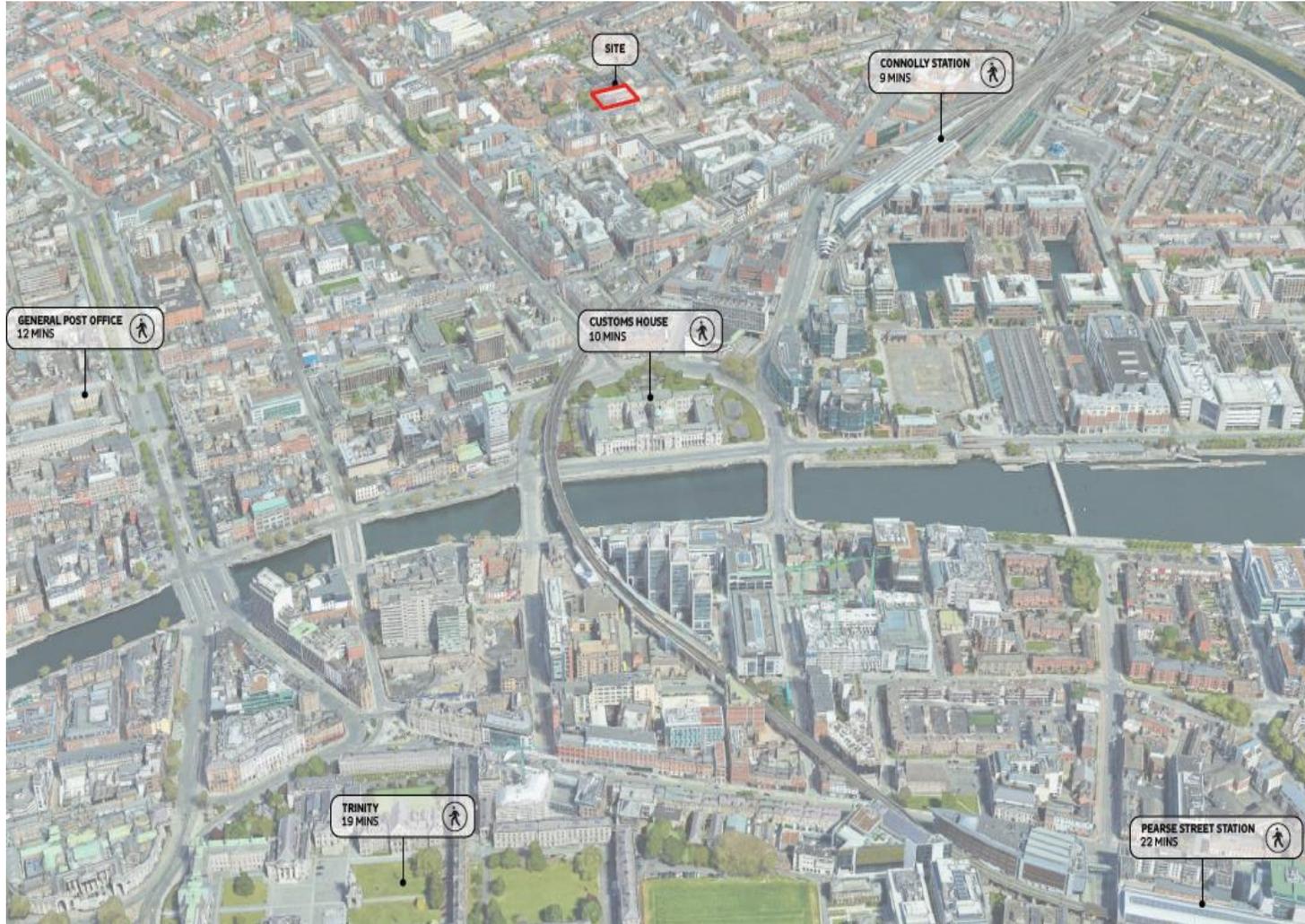
Existing Sean McDermott Street Swimming Pool - Entrance



# Existing Building

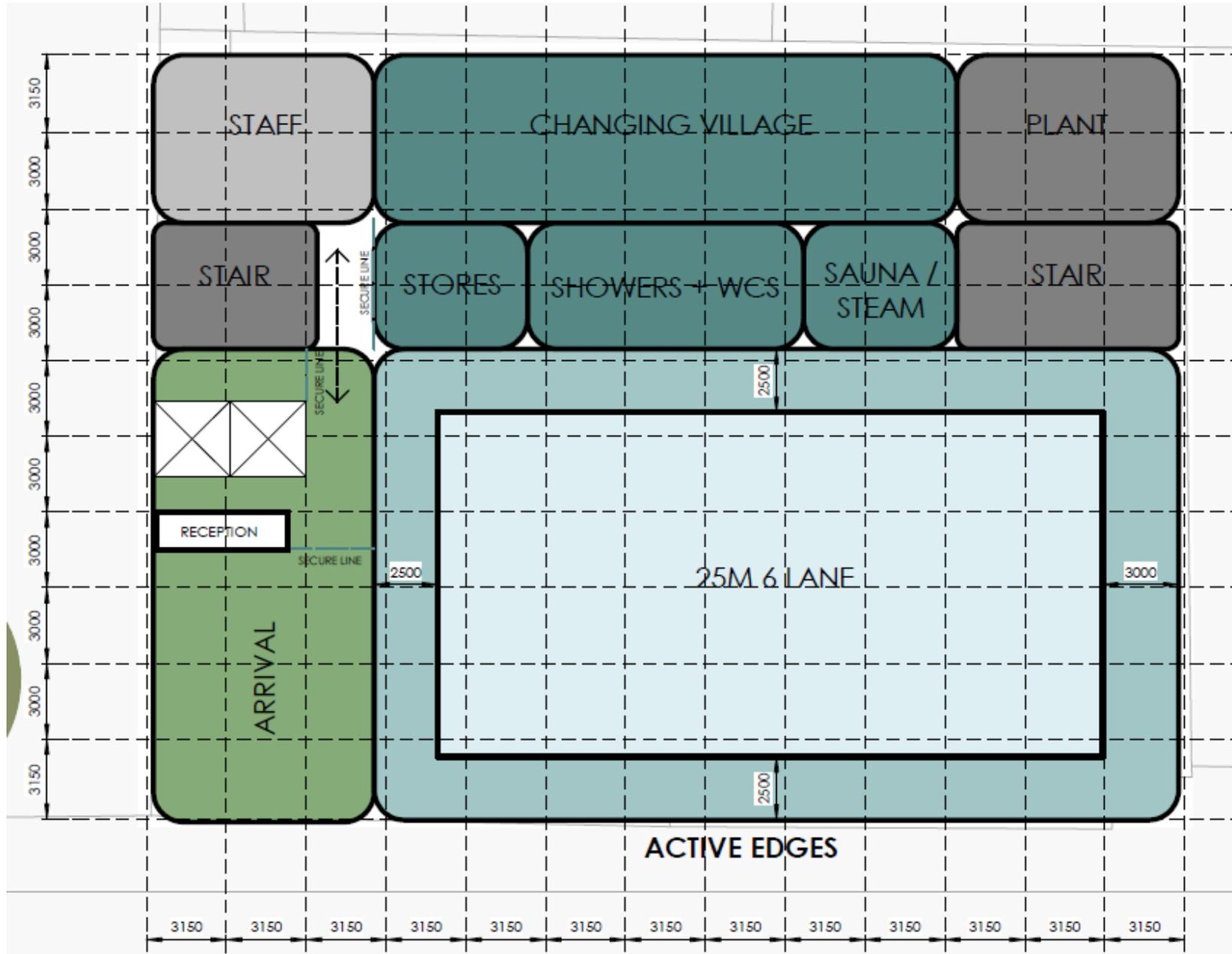


# Feasibility Study

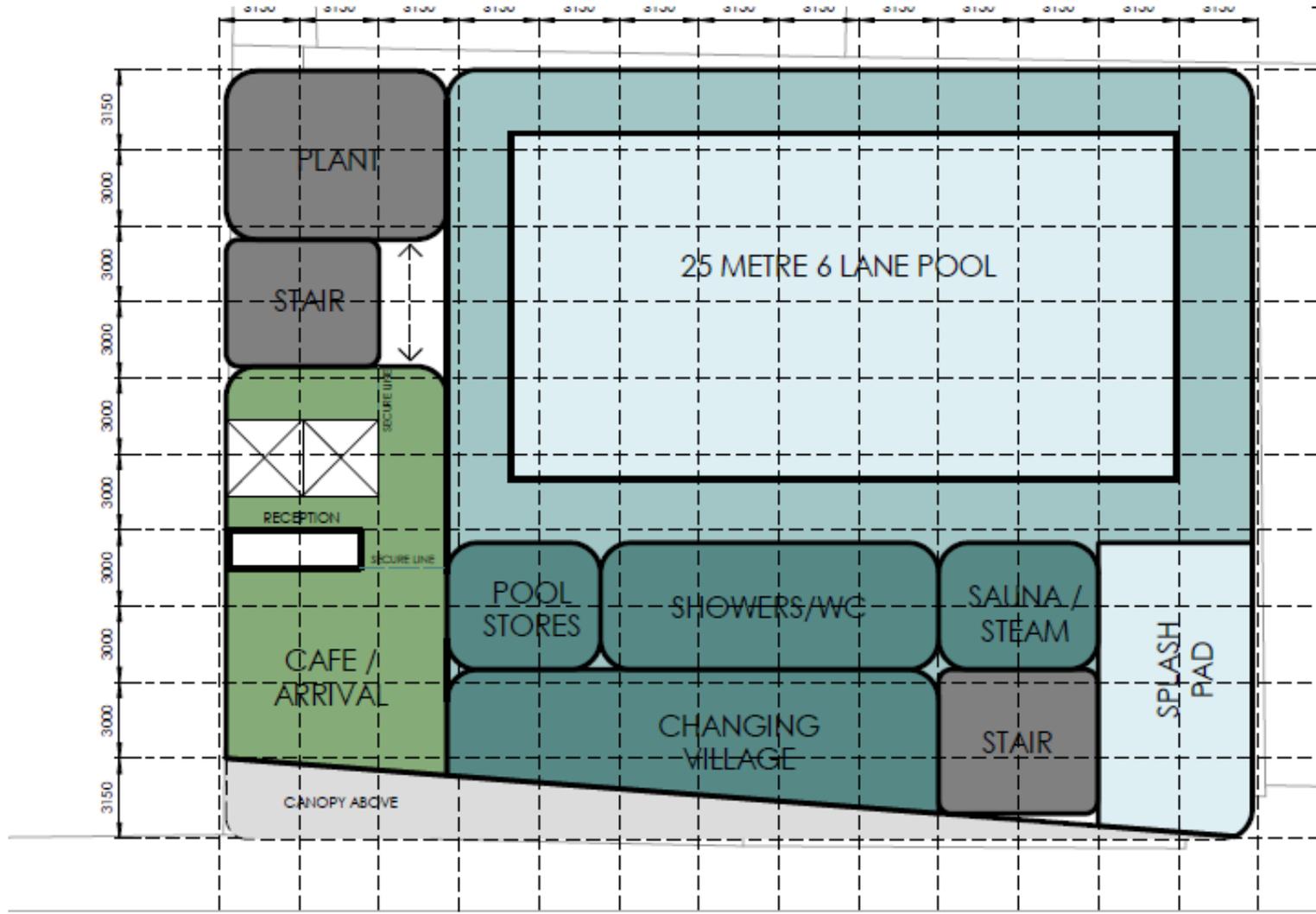


- Site analysis,
- Transport/access
- Surrounding building heights/uses
- Sustainability (environmental & economic)
- Existing community requirements
- Emerging demands

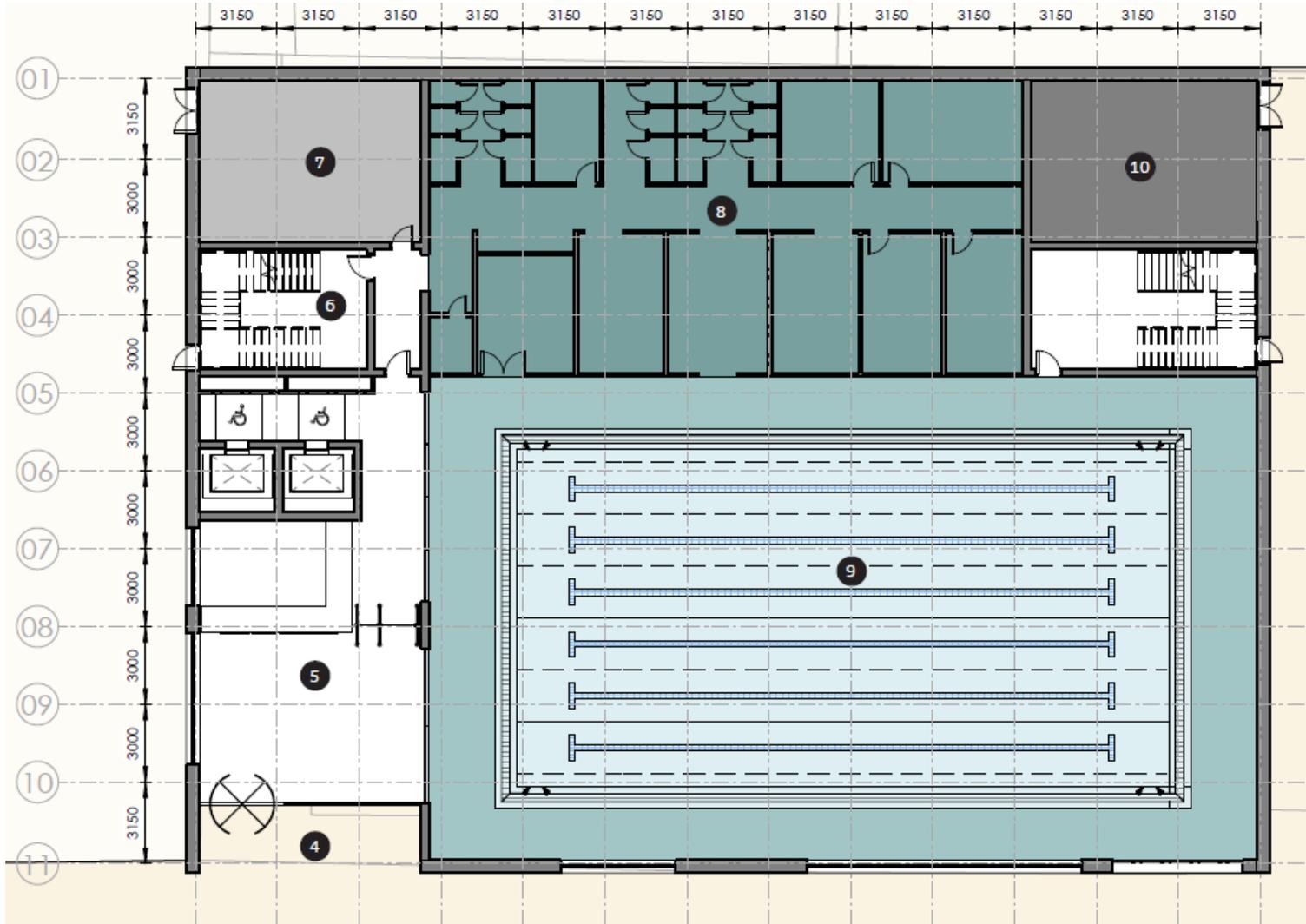
# Feasibility Study Options



# Feasibility Study Options

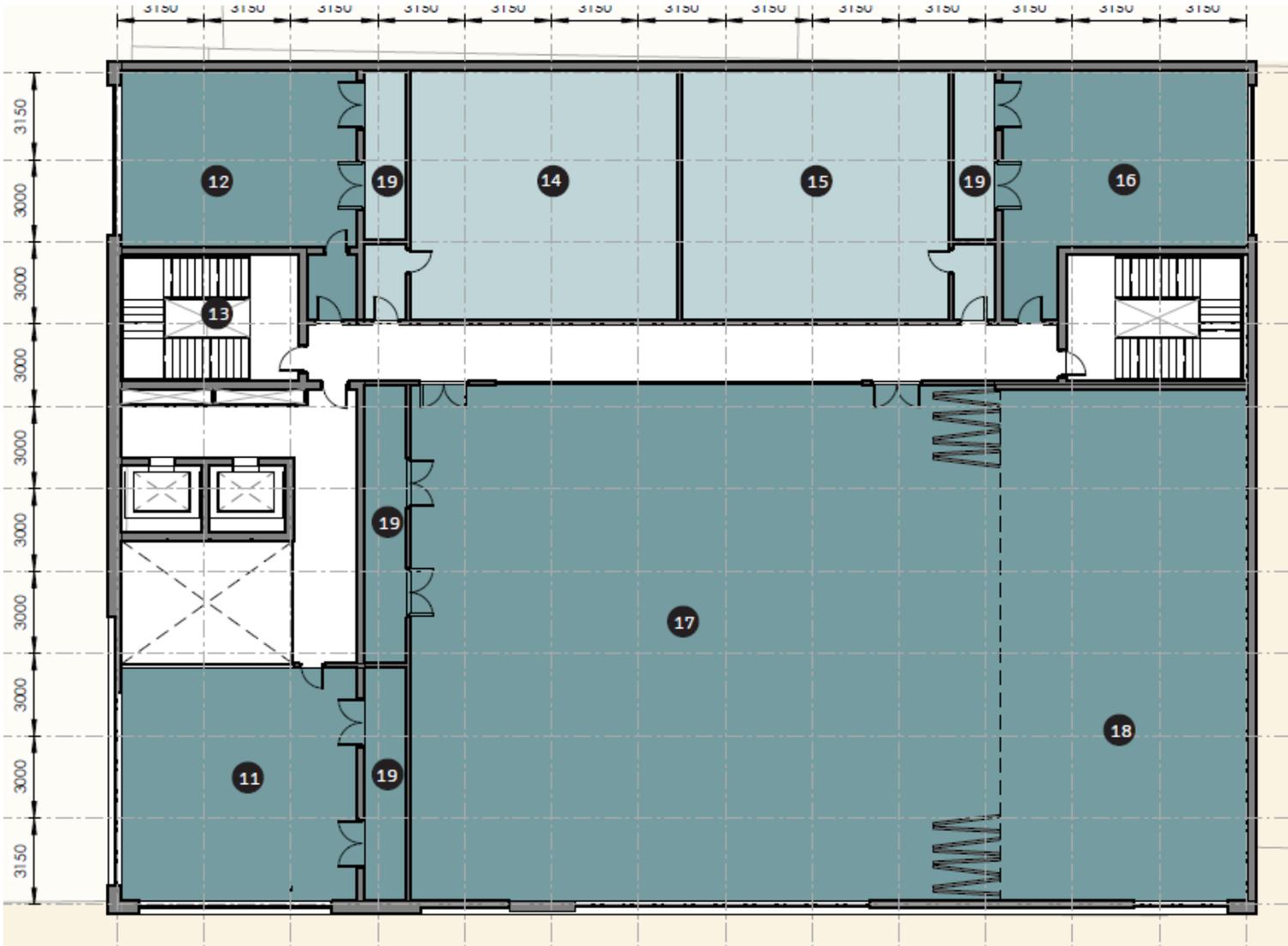


# Feasibility Study Option 1



- 4 ARRIVAL CANOPY
- 5 RECEPTION AREA
- 6 VERTICAL CIRCULATION
- 7 STAFF ROOM
- 8 CHANGING VILLAGE
- 9 25 METRE 6 LANE POOL
- 10 PLANT ROOM / ANCILLARY SPACES

# Feasibility Study Option 1

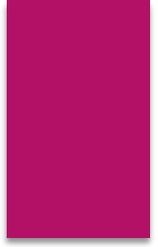


- 11 ACTIVITY STUDIO 1
- 12 ACTIVITY STUDIO 2
- 13 VERTICAL CIRCULATION
- 14 FEMALE DRY CHANGE
- 15 MALE DRY CHANGE
- 16 ACTIVITY STUDIO 3
- 17 FITNESS SUITE
- 18 FLEXIBLE SPACE
- 19 SPORTS STORES
- 20 FOLDING ROOF STRUCTURE

# Feasibility Study Option 1



# Feasibility Study Option 1



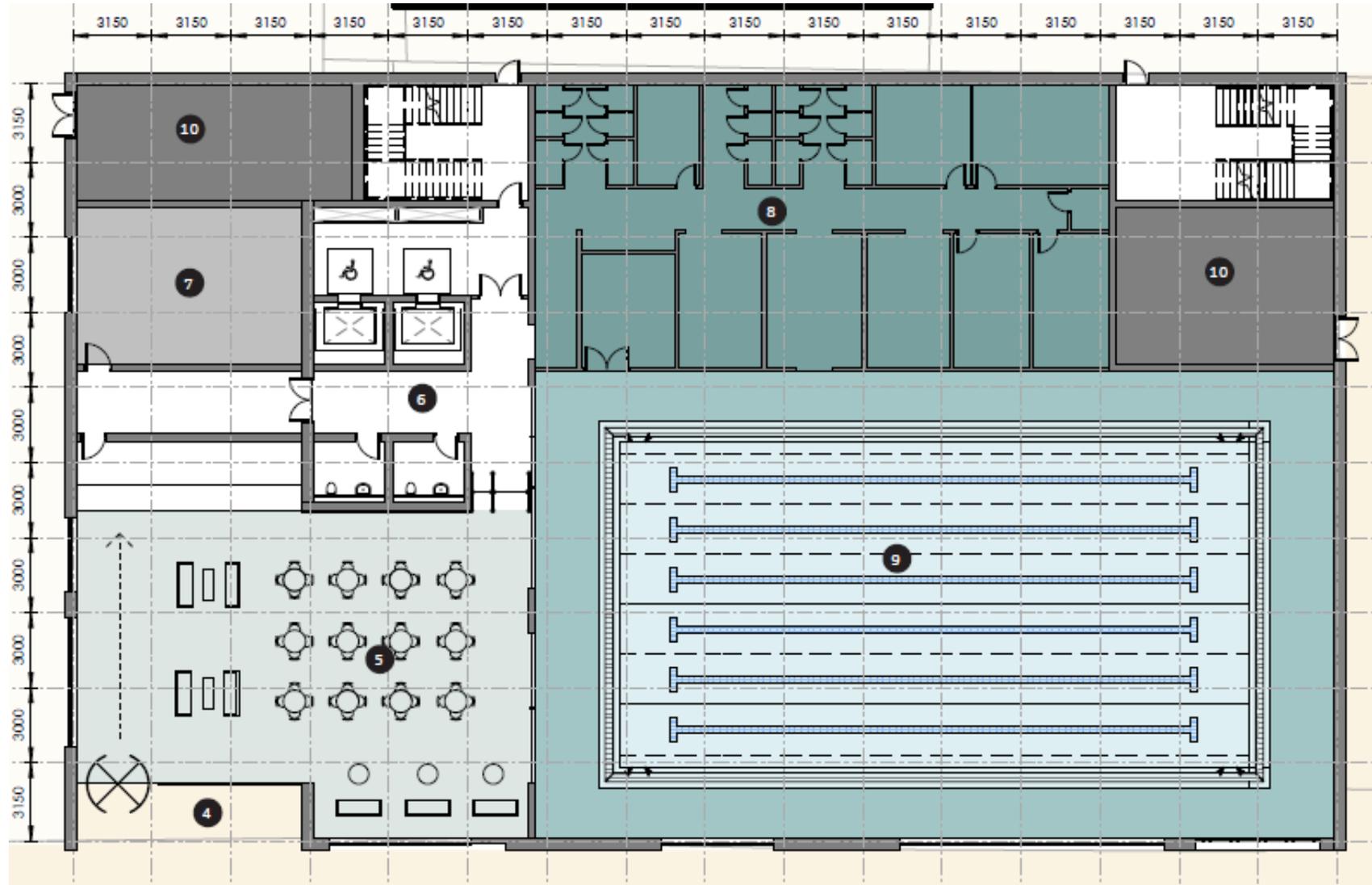
# Feasibility Study Option 1



Sean McDermott - Option 1				
		Construction Budgets		
	Area m2	Lower €4,250sqm	Mid point €4500sqm	Higher €4750sqm
Building Area	3,702	€ 15,733,500	€ 16,659,000	€ 17,584,500
External Works		€ 555,300	€ 647,850	€ 740,400
<b>Total Building</b>		<b>€ 16,288,800</b>	<b>€ 17,306,850</b>	<b>€ 18,324,900</b>
Contingency / Design Reserve 15%		€ 2,443,320	€ 2,596,028	€ 2,748,735
<b>Total Construction Budget</b>		<b>€ 18,732,120</b>	<b>€ 19,902,878</b>	<b>€ 21,073,635</b>

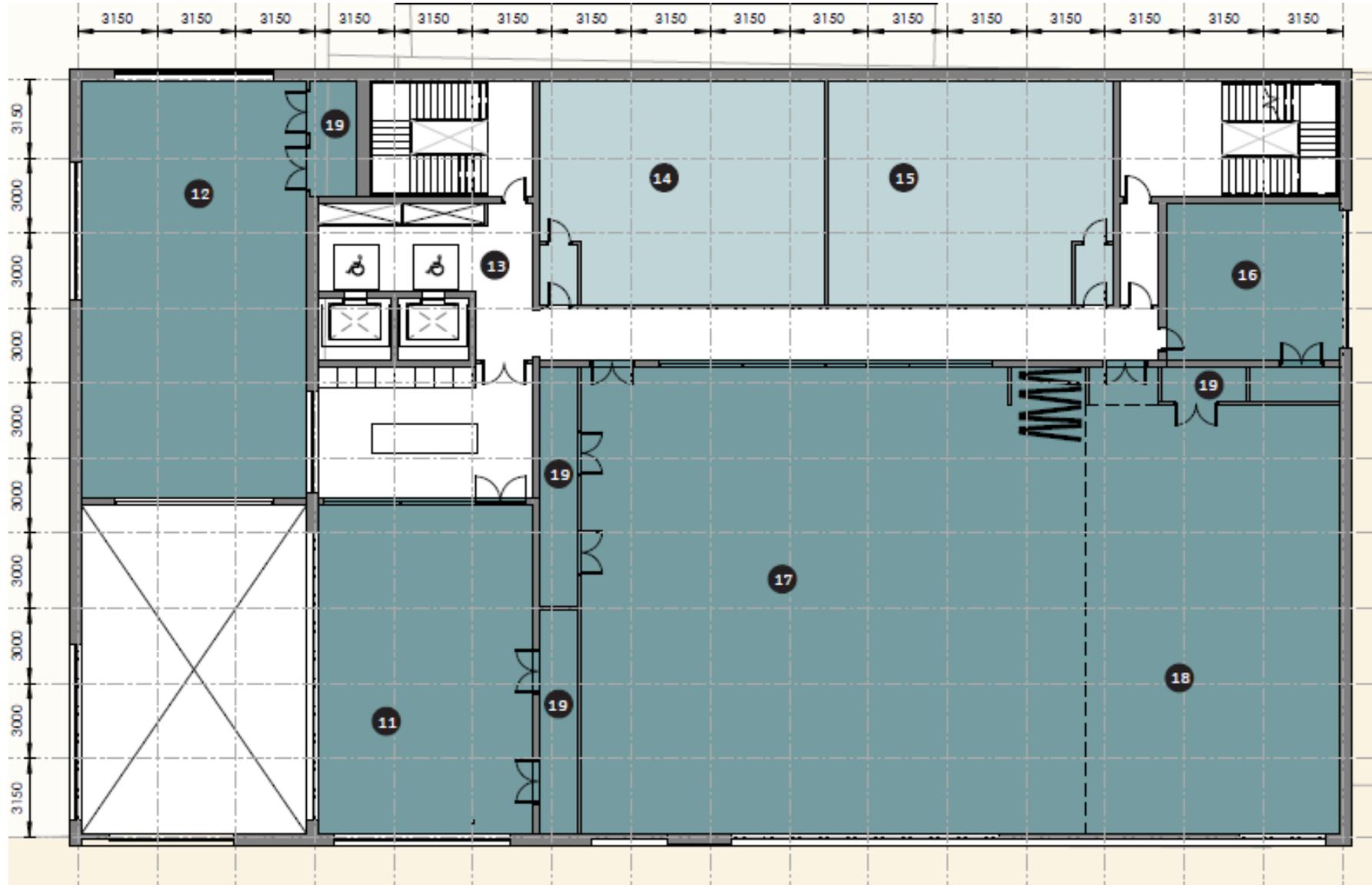
High Level Net Construction Cost Schedule

# Feasibility Study Option 2



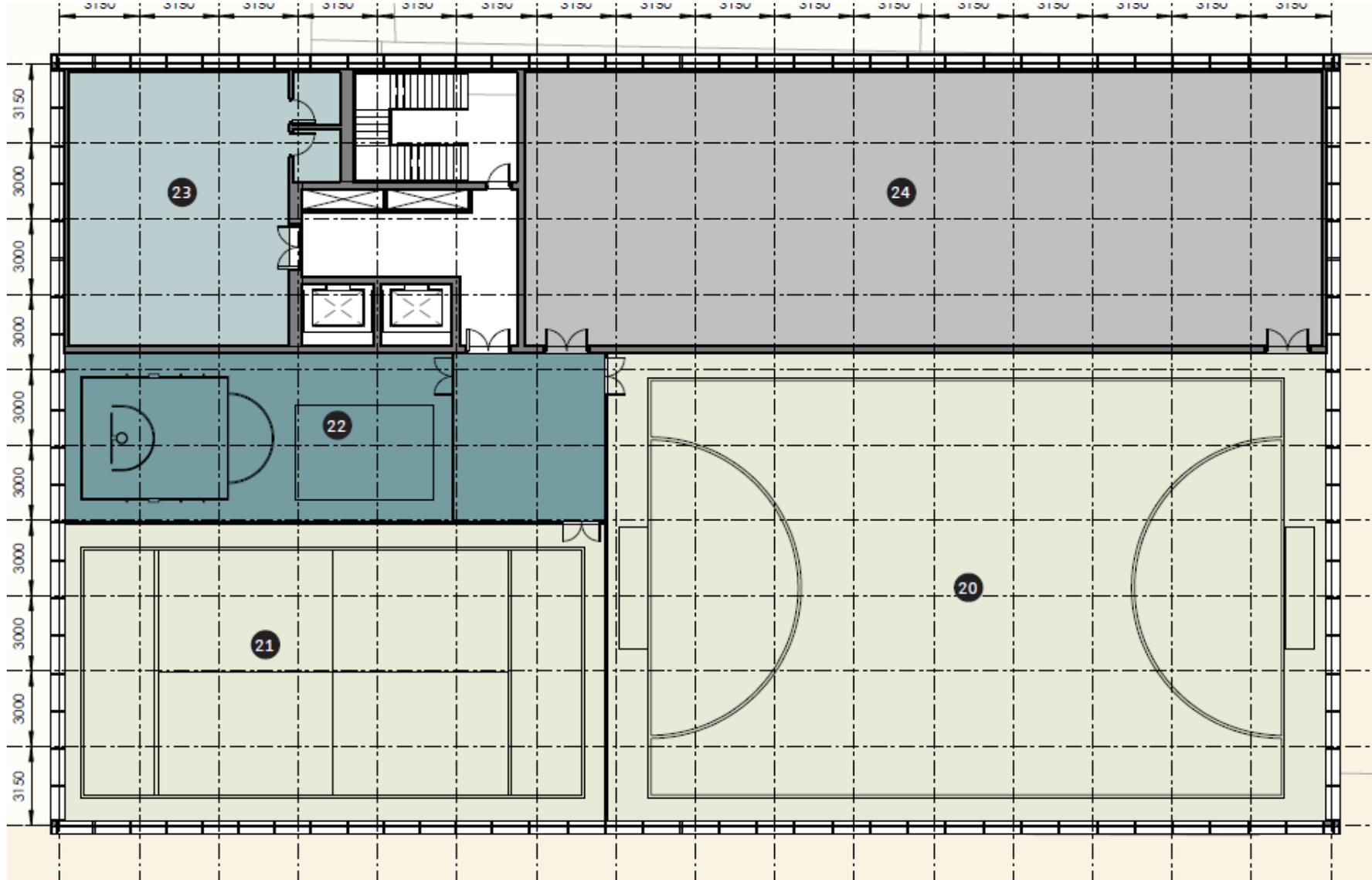
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# Feasibility Study Option 2



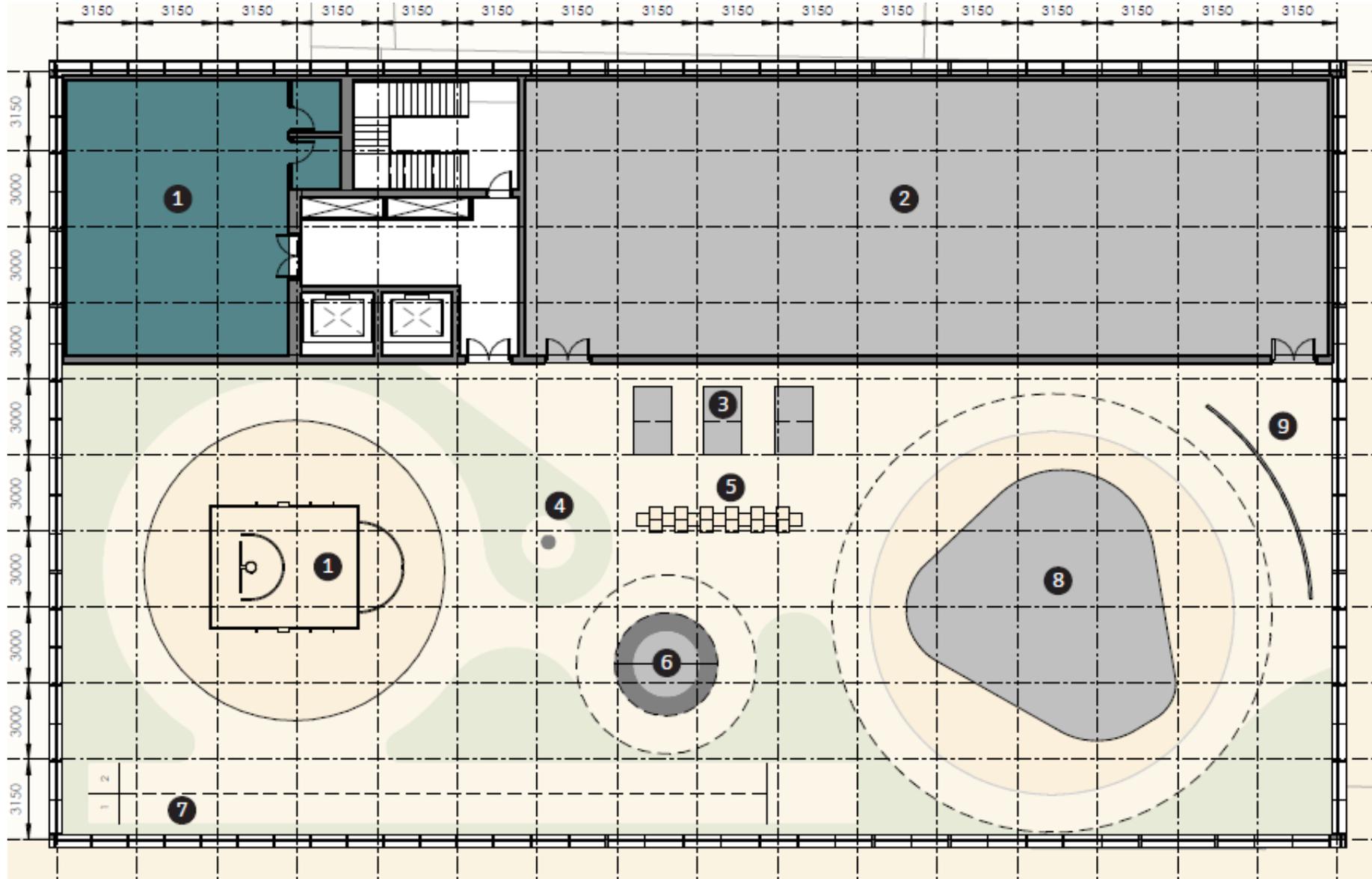
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# Feasibility Study Option 2 Roof A



- 20 ROOF TOP PITCH
- 21 PADDLE TENNIS
- 22 UNSTRUCTURED SPORT
- 23 DRY CHANGE
- 24 ROOFTOP PLANT

# Feasibility Study Option 2 Roof B



- ① DRY CHANGE
- ② PLANT
- ③ TABLE TENNIS
- ④ TRAMPOLINE
- ⑤ GAME ZONE
- ⑥ PARKOUR ZONE
- ⑦ RUNNING TRACK
- ⑧ SKATE BOWL
- ⑨ SWINGS

# Feasibility Study Option 2



Park and Pay - Copenhagen

# Feasibility Study Option 2



# Feasibility Study Option 2



Sean McDermott Option 2				
		Construction Budgets		
	Area m2	Lower €4,250sqm	Mid point €4500sqm	Higher €4750sqm
Building Area	4,724	€ 20,077,000	€ 21,258,000	€ 22,439,000
External Works		€ 708,600	€ 826,700	€ 944,800
<b>Total Building</b>		<b>€ 20,785,600</b>	<b>€ 22,084,700</b>	<b>€ 23,383,800</b>
Rooftop pitches	Area m2	Lower €1000sqm	Mid point €1250sqm	Higher €1500sqm
	800	€ 800,000	€ 1,000,000	€ 1,200,000
Rooftop circulation	Area m2	Lower €750sqm	Mid point €1000sqm	Higher €1250sqm
	40	€ 30,000	€ 40,000	€ 50,000
Contingency / Design Reserve 15%		€ 3,117,840	€ 3,312,705	€ 3,507,570
<b>Total Construction Budget</b>		<b>€ 24,733,440</b>	<b>€ 26,437,405</b>	<b>€ 28,141,370</b>

High Level Net Construction Cost Schedule

# NEXT STEPS

- ▶ Appoint Design Team 2023
- ▶ Preliminary Design for Agreement (Consultation/Engagement)
- ▶ Part 8 Planning 2024
- ▶ Funding to be determined to include Large Scale Sports Facilities Fund & DCC capital funding