



To the Chairperson and Members of
the Central Area Committee

Notification of initiation under Part 8 Planning and Development Regulations 2001

FOR NOTING

Proposed redevelopment of Matt Talbot Court and associated external works situated at
Charles Street Great, Dublin 1



Dublin City Council wishes to give notice that it intends to initiate the process leading to an application under Part 8 of the Local Government Planning and Development Regulations 2001 for the redevelopment of a site at Matt Talbot Court, Charles Street Great, Dublin 1.

Context:

The present Matt Talbot Court flats (0.5445ha) consist of three five-storey blocks of 72 flats (including 24 bedsits) that are considered substandard in terms of space standards, accessibility and thermal comfort. The current estate suffers from lack of active frontages, useable public realm and hard standing areas dominated by car parking. A decanting programme will be co-ordinated by the Area Housing Officer who will liaise with residents in order to facilitate the proposed redevelopment.

Proposed development:

It is proposed to demolish the existing housing blocks and to construct two new housing blocks, providing 92 new homes on the site. It is currently proposed to complete the project over two phases. The first phase involves the construction of one new apartment block (Block A) to deliver 29 homes. Phase 2 will provide a second housing block (Block B) to the west of the site and will deliver the remaining 63 homes.

The proposed residential provision is as follows:

29 no. 1 bed apartments
32 no. 2 bed apartments
11 no. 2 bed duplex houses
1 no. 3 bed apartment
19 no. 3 bed duplex houses

This includes:

12 no. 1-bed Universal Design (UD) apartments
13 no. 2-bed Universal Design (UD) apartments
3 no. UD+ apartments

The height of the proposed buildings range from one to six storeys.

There will be improvements to the public realm with two new landscaped courtyards for the residents, planted areas and a new public pedestrian route linking Charles Street Great to Summer Place. It is proposed to provide 9 car parking spaces, including 1 accessible space. A total of 144 bicycle spaces are proposed. 108 of these spaces will be provided within secure cycle parking facilities in the housing blocks while 36 short-term visitor spaces will be provided across the site in public areas.

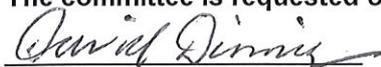
All the homes will meet current Department of Housing, Local Government and Heritage's specifications and Dublin City Council's housing standards as expressed through the Dublin City Council Development Plan. The new buildings will be energy efficient and meet current NZEB requirements.

Consultation with residents has been carried out throughout the design process with the circulation of information newsletters, zoom meetings and an in person consultation meeting led by the Local Area Office.

A presentation of this proposal with detailed information was given at the Central Area Committee on the 12th July 2022 before initiating the pre-Part 8 process.

A project summary has been included in the agenda pack and a detailed report by the consultant design team on all aspects of the development will form part of the planning submission.

The committee is requested *only* to note this proposal.



David Dinnigan

Executive Manager

Housing and Community Services