



With reference to the proposed grant of a further licence of Units T02 – T07 of the Markets Area Community Resource Organisation (MACRO) Building, Green Street/North King Street, Dublin 7.

MACRO Building Management CLG has reported that Units T02-07 in the MACRO building have become vacant and have requested that a licence be granted to them for these units which are shown outlined on Map Index SM-2022-0195, at the Markets Area Community Resource Organisation (MACRO) Building, Green Street/North King Street, Dublin 7, subject to the following terms and conditions.

1. The proposed licence shall be for the period of 2 years and 7 months from 1st June 2021 to 31st December 2023 and subject to a licence fee of €200 per annum.
2. The proposed licensed area is Units T02-T07 inclusive as shown outlined on on Map Index No.SM-2022-0195.
3. The proposed licence shall be subject to a service charge of €18,603 per annum in respect of the cost of managing the building, payable quarterly in advance.
4. The licensee shall manage the space and ensure its' use by various community groups for hire on an hourly basis/for once off and occasional use. The licensee will also run it's own activities from the licensed area including children's and senior citizens activities. All income over expenditure it incurs from the licensed area may be retained by MACRO Building Management CLG and used solely for investment in the premises, improving services in the premises, or marketing for the premises.
5. The licensee shall be responsible for all other outgoings including rates, waste charges and any water charges, telephones, photocopying utilities which may become payable.
6. The licensee shall be entitled to use the licensed area during the opening hours of the Markets Area Community Resource Organisation building which are 8.00 am to 9.00pm Mondays to Fridays.
7. The licensee shall sign a Deed of Renunciation in respect of the licensed area.
8. The licence can be terminated by either party on giving the other one months notice in writing.
9. The licensee shall keep its part of the premises in good condition and repair during the term of the licence.
10. The licensee shall obtain public liability insurance (€6.5 million) and employer's liability insurance (€13 million) if they have employees and shall indemnify the City Council against any and all claims for compensation, which may arise from their use of the property.

11. On termination of the licence, the licensee shall be responsible for the removal of all their materials from the premises.
12. The licensee shall not assign, sub-let alienate or part with possession of the subject property.
13. The licence will be subject to any terms and conditions deemed appropriate by the Law Agent
14. Each party shall be responsible for its own legal costs.

The area proposed to be licensed is contained in the MACRO Building which is built on lands which form part of the Council's City Estate (Reference AR 208).

The proposed disposal shall be subject to such conditions as to title to be furnished, as the Law Agent in her discretion shall stipulate.

No agreement enforceable at law is created or intended to be created until an exchange of contracts has taken place.

This proposal was approved by the Central Area Committee at its meeting on the 11th October 2022.

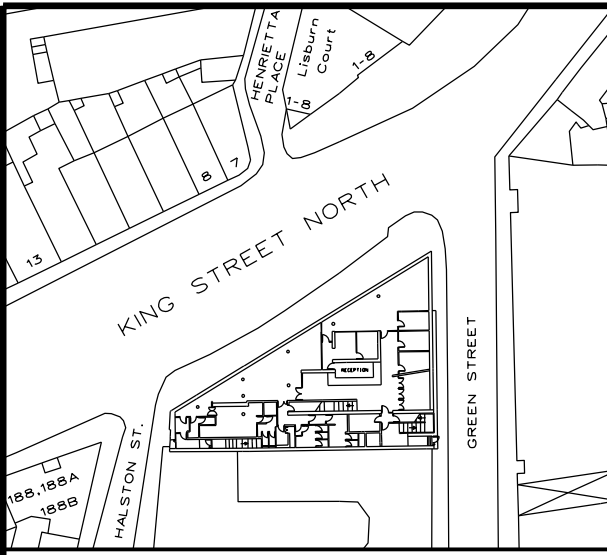
This report is submitted in accordance with the provisions of Section 183 of the Local Government Act, 2001.

Resolution:

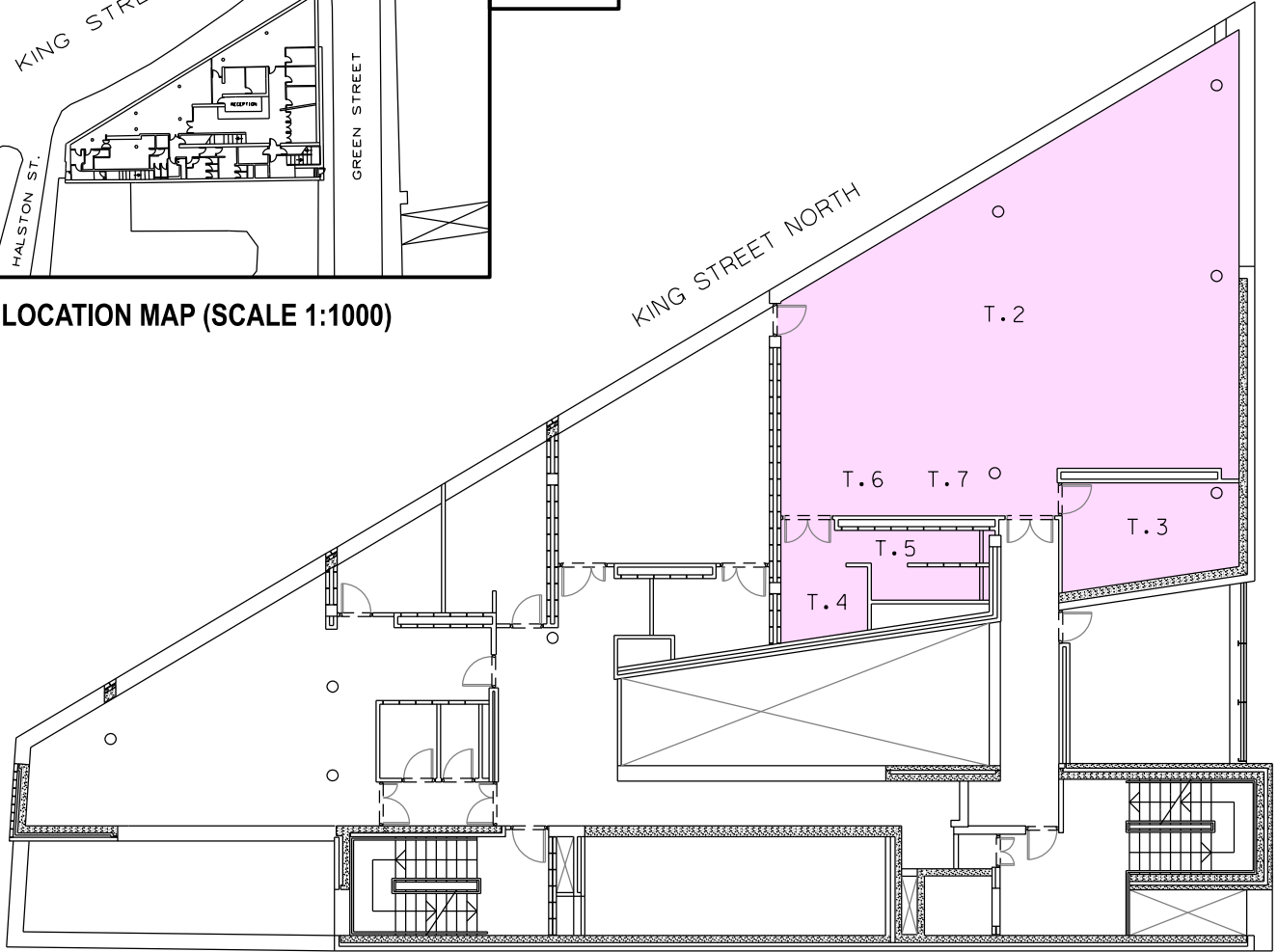
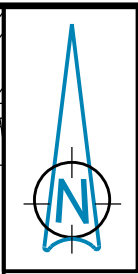
"That Dublin City Council notes the contents of this report and assents to the proposal outlined therein."

Dated this the 20th day of October 2022.

Máire Igoe
A/Executive Manager



LOCATION MAP (SCALE 1:1000)



THIRD FLOOR PLAN (SCALE 1:200)

HALSTON STREET / NORTH KING STREET / GREEN STREET - MACRO BUILDING
 Rooms T.02, T.03, T.04, T.05, T.06, T.07 (AREA: 141.2 sq m)
 Dublin City Council to MACRO Building Management CLG
 GRANT OF LICENCE



Comhairle Cathrach
 Bhaile Átha Cliath
 Dublin City Council

An Roinn Comhshaoil agus Iompair
 Rannán Suirbhéireachta agus Léarscáilithe
 Environment and Transportation Department
 Survey and Mapping Division

O.S REF	SCALE
3263-04, 3263-05	1:1000 / 1:200
DATE	SURVEYED / PRODUCED BY
26.04.2022	TJC

INDEX No	DWG No	REV
FILE NO	F:\SM-2022-0195 - 001 - A.dgn	

THIS MAP IS CERTIFIED TO BE COMPUTER GENERATED BY
 DUBLIN CITY COUNCIL FROM ORDNANCE SURVEY DIGITAL MAPBASE
 SURVEY, MAPPING AND RELATED RESEARCH APPROVED
 APPROVED _____
THOMAS CURRAN
 ACTING MANAGER LAND SURVEYING & MAPPING
 DUBLIN CITY COUNCIL

INDEX No.
SM-2022-0195

Dr JOHN W. FLANAGAN
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CITY ENGINEER