

OUTLINE SPECIFICATION

Existing buildings, with the exception of the front & side external walls, to be demolished. Existing elevation features to be retained and wall repaired.

New pitched roof to comprise blue/black slate to match existing, on timber battens on felt on insulated timber roof structure. New flat roof to comprise roof membrane over insulation on deck and timber joists. All ceilings to be insulated and finished with foil-backed plasterboard. All existing fascias, soffits and rainwatergoods to be replaced with aluminium fascias & soffits and half round pvc gutters and downpipes.

New ground floor to consist of cast in situ concrete slab over rigid floor insulation on radon barrier, sand blinding and well compacted hardcore.

New external walls to rear to be cavity wall construction with rigid insulation. Blockwork external leaf to be rendered and painted to a selected colour. Internal leaf to be plastered and painted. All load bearing walls supported on foundations to Engineer's design.

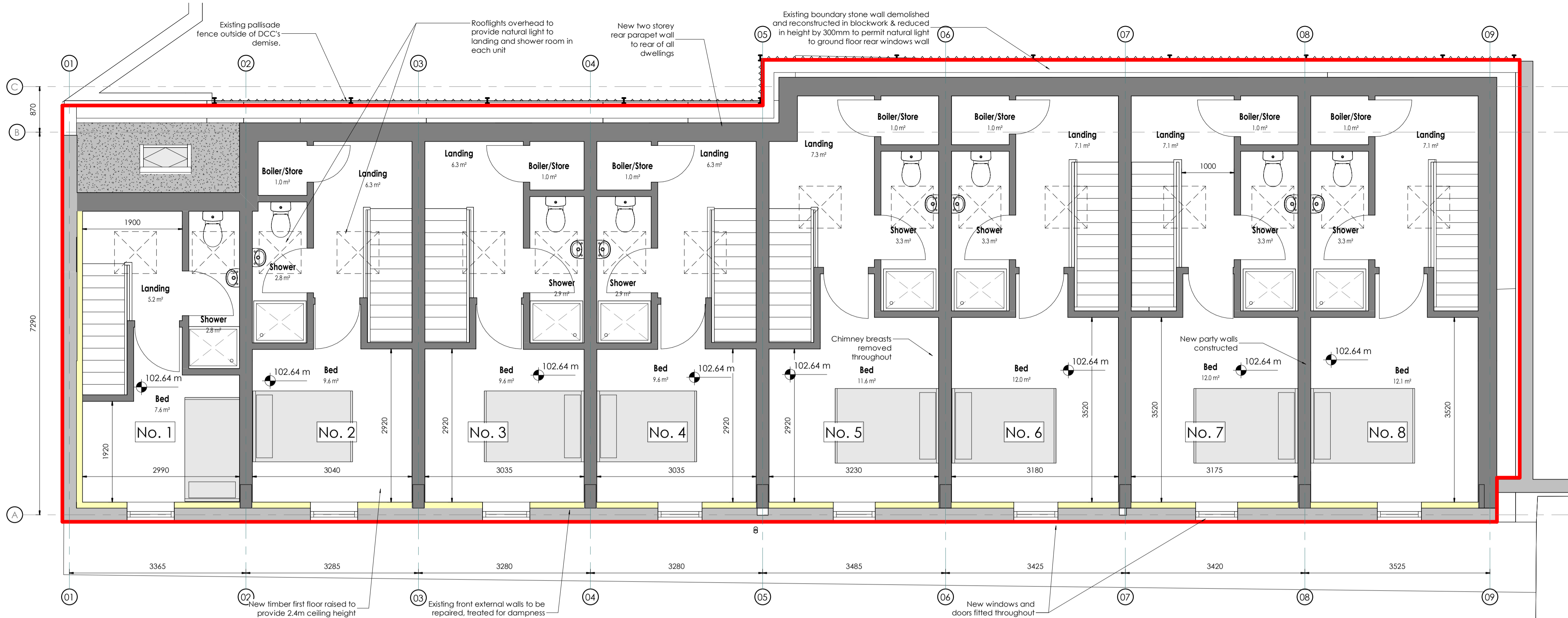
All front external doors will be hardwood painted to select colour. Windows to front will be timber sliding sash and windows to rear will be uPVC with precast concrete / or existing stone cills on front elevation. All glazing to be low emissivity K glass to comply with TGD Part L Building 2019.

Storm drainage to be 100 diameter wavin laid to 1:150 minimum fall. Surface drainage to discharge to public system. Foul Drainage laid to 1:60 approx fall to discharge to existing public sewer.

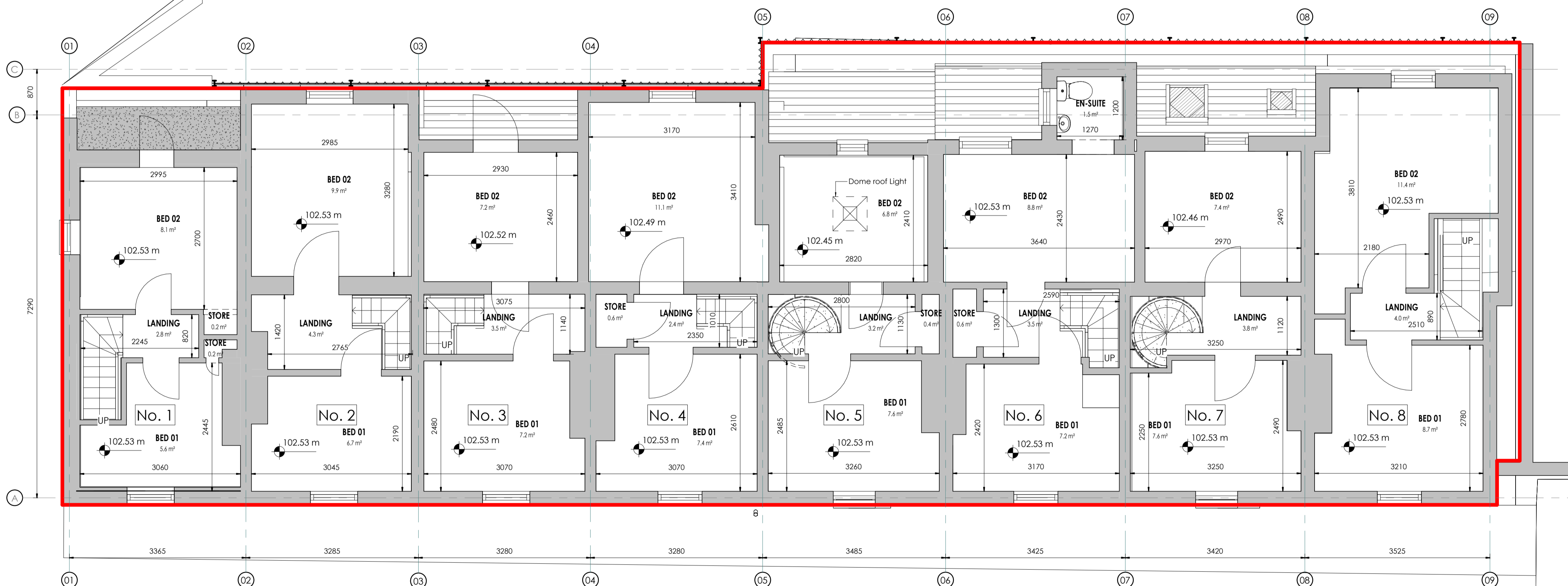
Existing front elevations are to be retained & repaired

Table with 2 main sections: AREAS (Existing) and AREAS (Proposed). Each section has columns for Dwelling, Level, and Area. It lists details for 8 houses (No. 1-8) across multiple levels (GFL, EXISTING FFL, PROPOSED FFL).

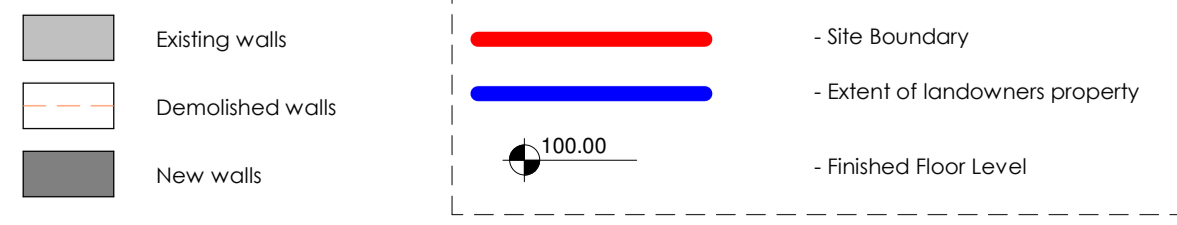
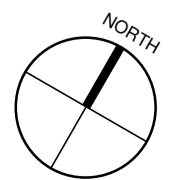
Table titled ACCOMMODATION SCHEDULE. Columns include ROOM NO., ROOM NAME, Area, Required Area, and Dwelling Type. It lists room details for 8 houses (No. 1-8) including Living/Kitchen, Storage, Bed, Shower, and Landing.



PROPOSED FIRST FLOOR
1:50



EXISTING FIRST FLOOR
1:50



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REVISION REGISTER

REV	DATE	DESCRIPTION	MC DRAWN	MC CHECKED	KH APPROVED
01	26/09/2022	First Issue			



Anglessea House, Anglessea Street Clonmel, Co. Tipperary



STATUS: PLANNING

CLIENT: DUBLIN CITY COUNCIL

PROJECT: Renovation of No's 1-8 Tyrrell Place, Dublin 1

DRAWING TITLE: EXISTING / PROPOSED FIRST FLOOR PLAN

DRAWING NUMBER: 2129 KHA ZZ XX DR A P 1110 S01 P 01