



In compliance with the provisions of Section 179 of the Planning and Development Act 2000 (as amended) and Part 8 of the Planning and Development Regulations 2001 (as amended) and in compliance with the provisions of the Local Government Act 2001 and pursuant to the requirements of the above, notice is hereby given of Dublin City Council's intention to carry out the following works:

Application No: 4000/19

Proposal: LAW: Planning and Development Act 2000 (as amended)

Planning and Development Regulations 2001 (as amended) - Part VIII

Applicant: Dublin City Council, Culture, Recreation & Economic Services, Libraries Section.

Location: Inchicore Library, 34 Emmet Road, Dublin 8.

Proposal: Proposed access, refurbishment & alteration works to Inchicore Library.

Location:

Inchicore Library is located on the southern side of Emmet Road in Inchicore west of its junction with the South Circular Road in the west of the city. The site is occupied by the library building which sits on an elevated position above the road enclosed by a low solid wall with railings on top and staggered solid boundary walls flanking the building on the side boundaries. The library is built in Art Deco style and follows a pattern of similar designs of libraries built around Dublin at the time (circa 1937.)

Proposed Development:

The development proposes:

Proposed Access, Refurbishment & Alteration Works to Inchicore Library.

- Demolition of existing entrance steps and site entrance gate.
- Refurbishment and alteration of existing Library Building.
- Construction of a new 76 sq.m rear extension comprising of a Multipurpose Room, Staff Office, Toilet, Canteen and Ancillary Accommodation. The construction would also include a new site entrance gate, access ramp and steps system, platform lift, repair and alteration to existing boundary treatment to front of building, provision of bicycle stands and all associated site works.

The primary aim of the project is to restore, and provide and maximise access to the existing facility of Inchicore Library:

- Expand on the existing service located within the building.
- Fulfil the operational and spatial requirements as specified by DCC in their briefing document.
- Exploit its unique location and architectural qualities to make it accessible and visible.

The transformed building will exploit the unique layout of the existing space, while providing appropriate and modern services and back of house areas.

Planning Context:

Zoning: Under the Dublin City Development Plan 2016-2022, the application site is designated Zoning Objective Z1: *‘To protect, provide and improve residential amenities’*.

The permissible uses from the Development Plan which are relevant for this proposed project include “community facility”.

Development Plan Context

Chapter 12 of Dublin City Development Plan 2016-2022 sets out the following policies in relation to the development of community uses:

SN15: To ensure the optimum use of community facilities and that high-quality facilities are accessible to all.

SN16: To ensure that the provision of strategic new community infrastructure complements the range of existing neighbourhood facilities and, where appropriate, is located at the interface between communities to facilitate access across a number of neighbourhood areas and greater integration between communities and to support the provision of community facilities which act as point of integration between residents of new and established communities within neighbourhoods.

SN18: To encourage and facilitate the provision of a range of community facilities in the city that caters for all.

SN24: To support the implementation of the Dublin City Library Development Plan, including the development of the branch library service to serve local communities.

CHC33: To support the national cultural institutions and facilitate the provision of fit-for purpose, sustainable cultural infrastructure such as museums, libraries, theatres, exhibition spaces, cinemas, and music venues in the city centre, suitable for all ages and accessible to all living, working or visiting the city and which reflect the role of Dublin as the capital city.

CHC38: To promote and facilitate the development, expansion and improvement of Dublin city’s library network.

Section 16.10.17 Dublin City Development Plan 2016-2022 relates to the retention and re-use of Older Buildings of Significance which are not Protected. The policy states that the re-use of older buildings of significance is a central element in the conservation of the built heritage of the city and important to the achievement of sustainability.

The proposal is deemed to be consistent with the policies and objectives outlined in the Dublin City Development Plan 2016-2022.

Submissions/Observations

Address provided in Appendix 1

One submission has been received from;

Jan Macek

- Concerns raised regarding illegal parking
- Symmetry of building is not reinforced by the design
- New railings stairs and ramps will not promote openness
- Location of the cycle parking behind a gate may not be useful
- Potential for 2 entrances on the northern boundary to address concerns raised

Concerns raised are noted and have been considered in this report

Requirement of Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)

The application has been accompanied with the following information in relation to the requirement for an Appropriate Assessment:

The project site does not lie within any Natura 2000 Site. The nearest Natura 2000 sites are approximately 7.5km away (South Dublin Bay SAC, and South Dublin Bay & River Tolka Estuary SPA). There will be no habitat loss, habitat fragmentation, or species disturbance as a result of the proposed project.

The project site is in a built-up area and is separated from the River Camac (a tributary of the River Liffey that ultimately flows into the Natura 2000 Sites) by road networks and urban development. There are no hydrological links between the project and the Natura 2000 sites which would likely result in an impact to the latter. There are no elements of the project, either alone or in-combination with other projects, that would likely give rise to impacts on the Natura 2000 Sites. As such, there is no requirement for Stage 2 Appropriate Assessment.

In relation to the requirement for an Environmental Impact Assessment it is noted that:

Current EIA legislation requires projects that are likely to have significant effect on the environment to be subject to EIA assessment under Requirements derived from EIA Directive 85/337/EC (and subsequently amended by directives 97/11/EV, 2003/4/EC, 2009/31/EC, 2011/92/EU and most recently 2014/52/EU. The European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018 have now transposed the most recent 2014 Directive into law.

The projects which require EIA are listed in Annex I and Annex II of the EIA Directive as amended. Projects listed in Annex I of the EIA Directive have mandatory EIA requirements. Annex II projects are considered on a case-by-case basis at national level and thresholds have been set for Annex II projects in Irish legislation. But even projects which do not meet the threshold may require an EIA if the project is likely to have significant effects on the environment (sub-threshold development).

Schedule 5 (Part 1) of the Planning and Development Regulations 2001-2018 (as amended) sets mandatory thresholds for projects. The proposed development does not meet or exceed the mandatory threshold for projects set out in the Schedule therefore a mandatory EIA is not required.

Schedule 5 (Part 1) of the Planning and Development Regulations 2001-2018 (as amended) sets out national thresholds none of which the proposed development appears to fall under.

Having regard to the nature of the development comprising a modest extension to the existing library building in an urban context, there is no real likelihood of significant effects on the

environment arising from the proposed development and the need for environmental impact assessment can therefore be excluded.

Reports:

Drainage: No objections

Transportation Planning Division: No objections

Irish Water: Report received required IW requirements to be met

Assessment

This Part 8 refer to works at Inchicore Library, located on the southern side of Emmet Road in Inchicore, west of the junction with the South Circular Road. The site is occupied by the library building which sits on an elevated position above the road enclosed by a low solid wall with railings on top and staggered solid boundary walls flanking the building on the side boundaries. The library is built in Art Deco style and follows a pattern of similar designs of libraries built around Dublin at the time (circa 1937.)

The proposal for consideration involves;

- Demolition of existing entrance steps and site entrance gate.
- Refurbishment and alteration of existing Library Building.
- Construction of a new 76 sq.m rear extension comprising of a Multipurpose Room, Staff Office, Toilet, Canteen and Ancillary Accommodation.

The construction would also include a new site entrance gate, access ramp and steps system, platform lift, repair and alteration to existing boundary treatment to front of building, provision of bicycle stands and all associated site works.

Concerns raised in the submission received are noted, however it is considered that the proposal for consideration will provide for enhanced community facilities in an accessible manner for the benefit of wider community. Transportation planning division have also prepared a report on this proposal and considered the transportation elements of the submission received. Point A relates to the location of the repositioned entrance in relation to on-street parking and emergency services vehicles. The on-street parking and bus stop are noted. Transportation Division do not have any concerns in relation to conflict between emergency service vehicle access and existing parking and bus stop location. Point D relates to the location of the cycle racks as proposed and a fence and gate annotated on the drawings. This gate gives access to an external activity space and a second entrance to the library. Transportation division recommend that a condition should be attached to ensure that the gate should remain open during public opening hours or that a push button access should be included to allow for easy access.

Having regard to the foregoing, it is therefore considered that the extension proposed, together with the alterations and refurbishment plans contained within this scheme are the most appropriate design solution on this elevated site.

Conclusion

It is considered that the overall design and scale of the proposal is well reasoned and can be accommodated on site. Therefore, in light of stated policies and objectives in support of developments such as that now proposed, it is considered that the development proposed, in the form provided, is acceptable; the development as proposed is considered to be in accordance with the proper planning and sustainable development of the area.

Recommendation

Accordingly, it is recommended that a decision be made by Elected Members of the Council to proceed with the proposed development.

The following recommendations have been received from internal Departments;

Drainage Division:

1. The following requirements of the Council's Drainage Department shall be complied with:
 - a. There is no objection to this development, subject to the developer complying with the Greater Dublin Regional Code of Practice for Drainage Works Version 6.0 (available from www.dublincity.ie Forms and Downloads).
 - b. A connection from this development to the public surface water sewer network will only be granted when the developer has obtained the written permission of the Drainage Division and fulfilled all the planning requirements including the payment of any financial levies. All expense associated with carrying out the connection work are the responsibility of the developer. Developers are not permitted to connect to the public surface water network system without written permission from the Drainage Division. Any unauthorised connections shall be removed by the Drainage Division at the developer's expense. A licence will be required from the Drainage Division to allow the connection work to be carried out. Permission of the Roads Dept must also be obtained for any work in the public roadway.
 - c. -The development is to be drained on a completely separate system with surface water discharging to the public surface water system.
 - d. -All surface water discharge from this development must be attenuated to two litres per second (**per hectare**) in accordance Greater Dublin Regional Code of Practice for Drainage Works Version 6.0.
 - e. The development shall incorporate Sustainable Drainage Systems in the management of surface water, with a minimum requirement of a 2 stages treatment approach. Full details of these the proposed permeable paving & green roof mentioned in the proposed drainage drawing No: 171165-C001-Rev:PL3 shall be agreed in writing with Drainage Division prior to commencement of construction.
 - f. -The outfall surface water manhole from this development must be constructed in accordance with the Greater Dublin Regional Code of Practice for Drainage Works Version 6.0.
 - g. -All private drainage such as, downpipes, gullies, manholes, armstrong junctions, etc. are to be located within the final site boundary. Private drains should not pass through property they do not serve.

Reason: In the interests of orderly development

2. The developer shall ascertain and comply with Irish Water prior to commencement of development works on site

Reason: In the interests of orderly development

Transportation Planning Division:

3. (a) The developer shall be obliged to comply with the requirements set out in the Code of Practice.
(b)The proposed gate to the northeast of the library shall remain open during library public opening hours.

Reason: In the interests of orderly development

The Area Committee as appropriate were informed of the initiation of the Part 8 planning process for the proposed development and the recommendation of the Planning Department at its meeting's on the 16th May 2018, with an update at its meeting on 19th June 2019.

The project is being funded by Dublin City Council through development levies.

Accordingly, it is recommended that a decision be made by Elected Members of the Council to proceed with the proposed development.

This report is submitted to the City Council pursuant to Section 138 of the Local Government Act, 2001 (as amended) and Section 179 of the Planning and Development Act, 2000 (as amended) subject to the provisions of Section 139 of the Local Government Act, 2001 (as amended).

Resolution:

"That Dublin City Council Notes Report No 02/2020 and hereby approves the contents therein."

Owen P. Keegan
Chief Executive

RECORD OF THIRD PARTIES & CONSULTEE DETAILS:

Chief Executives Rep No: 02/2020

App No: 4000/19

Location: Inchicore Library, 34 Emmet Road, Dublin 8.

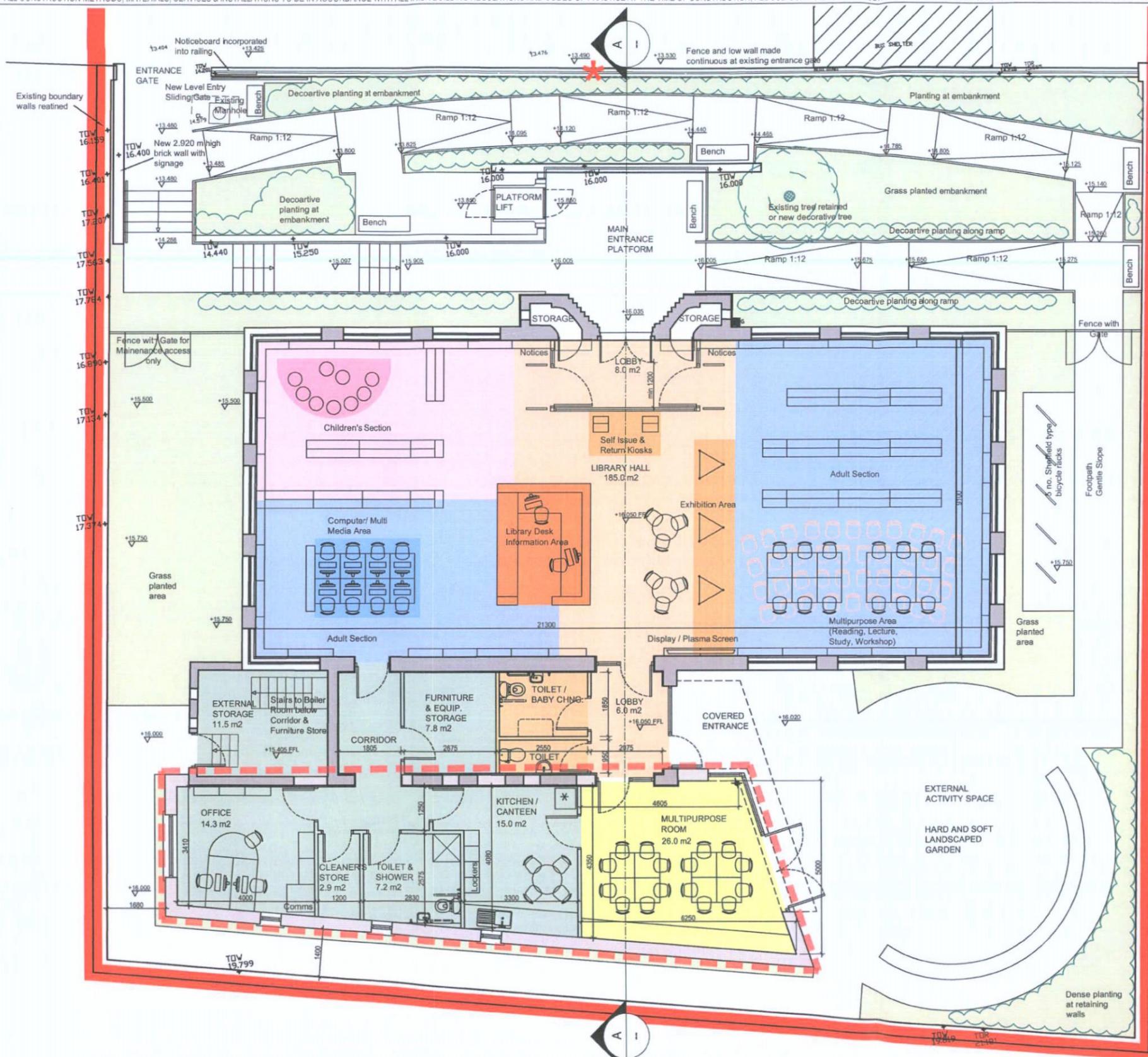
Third Parties:

Jan Macek, 46, Anner Road, Inchicore, Dublin 8.

Consultees:

1. Irish Water, Colvill House, 24 - 26, Talbot Street, Dublin 1.
2. Irish Rail, Pearse Street Station, Westland Row, Dublin 2.

ALL CONSTRUCTION METHODS, MATERIALS, SERVICES & INSTALLATIONS TO BE IN ACCORDANCE WITH ALL IRISH BUILDING REGULATIONS AND CODES OF PRACTICE AT THE TIME OF CONSTRUCTION. ALL SUB-CONTRACTORS ARE ULTIMATELY RESPONSIBLE FOR ENSURING COMPLIANCE WITH REGULATIONS WITHIN THEIR OWN TRADE. NO DIMENSIONS TO BE SCALED, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, IF IN DOUBT ASK!



DCC PLAN NO: 4000/19
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Legend

- Reception / Information
- Self Issue & Return Kiosk
- Exhibition Area
- Circulation Area
- Multi-Purpose Area (Reading, Study, Workshop, Lecture)
- Kids Section
- Storytelling
- Adult Section
- Computers & Multi-Media
- Public Toilets
- Staff Only Areas



Site Outlined in Red

'*' indicates approx. location of Site Notice

New extension outlined thus - - - - -

Proposed Ground Floor Plan
Scale 1:125 @ A3

REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	

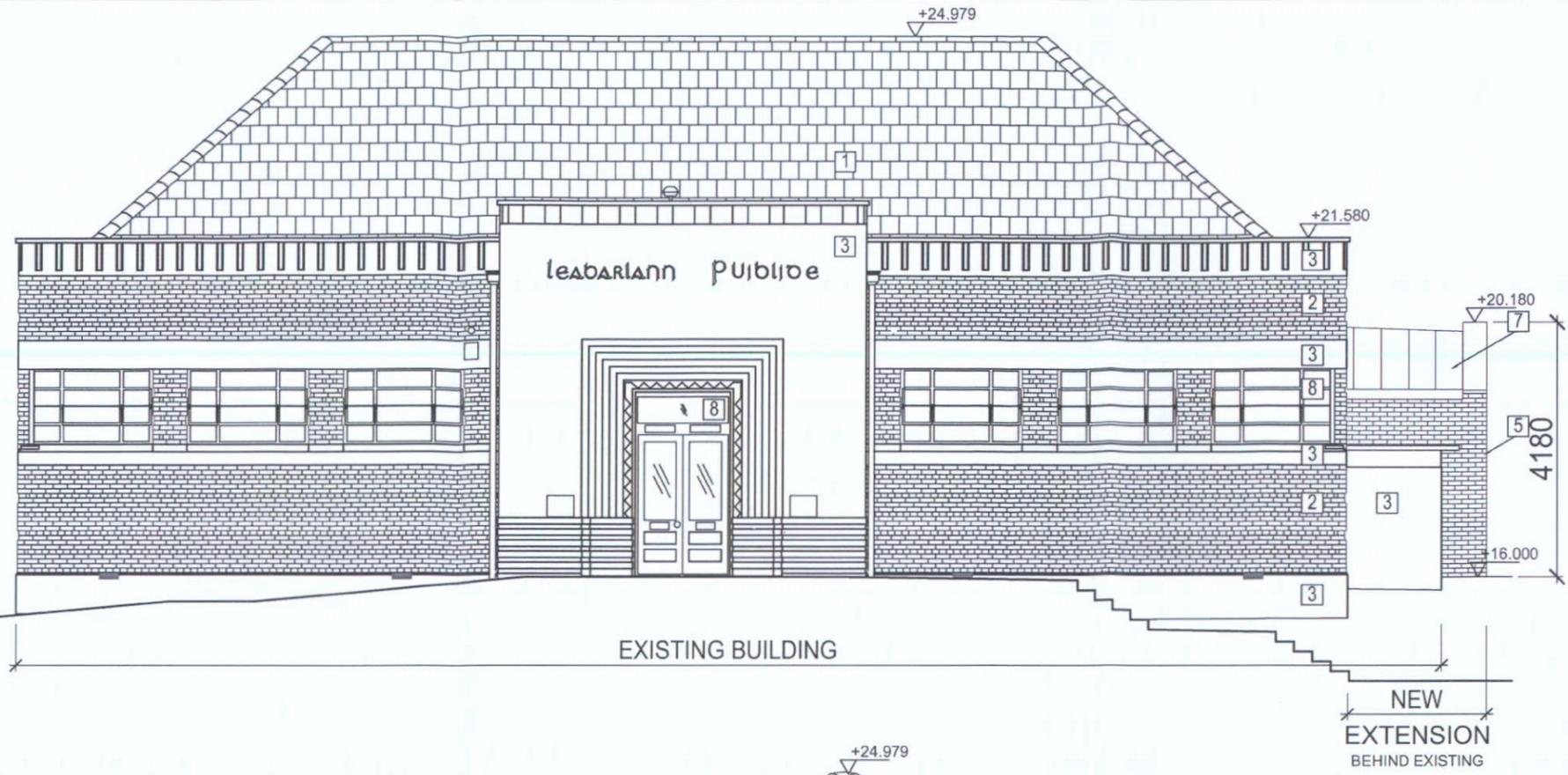


PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 03/09/18	SCALE: 1:125 @A3
DRAWING: GROUND FLOOR PLAN	DRAWN: BK	JOB NO. 17001
	K:17001P	DWG. NO. P-003
		Revision
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie

Legend

(Elevation materials)

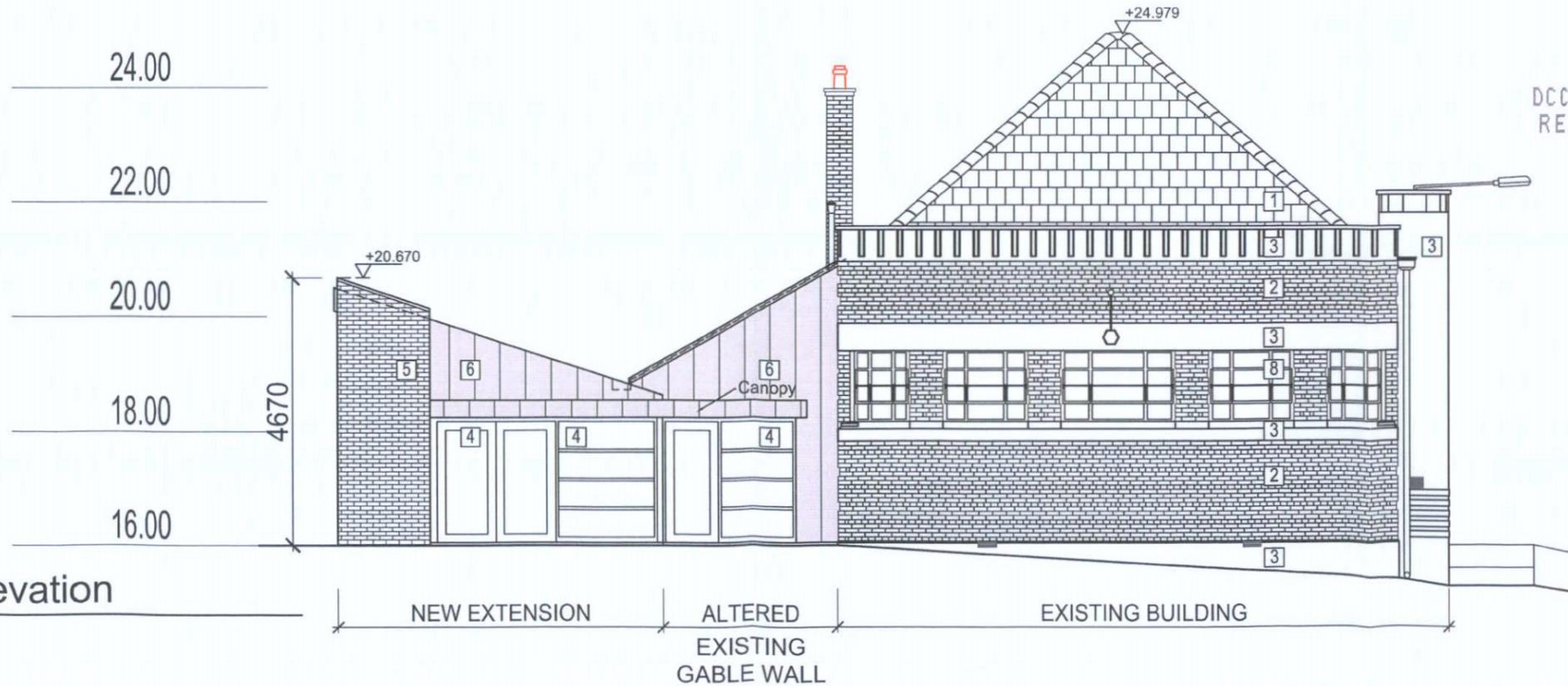
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- 2 Existing brick cleaned/ repaired 22.00
- 3 Selected painted render/concrete 20.00
- 4 Selected window & door system 18.00
- 5 Selected brick cladding 16.00
- 6 Standing seam wall cladding
- 7 Standing seam roof covering
- 8 Existing door and windows retained / refurbished



Proposed North Elevation

Scale 1:100 @ A3

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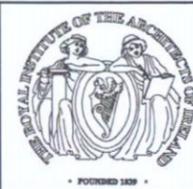
Proposed East Elevation

Scale 1:100 @ A3

REVISIONS AFTER LAST PLOT:

Stage:
PART 8

REVISIONS AFTER LAST PLOT:



PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 03/09/18 DRAWN: BK K:117001P	SCALE: 1:100 @A3 JOB NO: 17001 DWG. NO: P-005
DRAWING: ELEVATIONS	Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchant's House, 27-30 Merchant's Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie

- Legend**
(Elevation materials)
- 1 Existing roof tiles cleaned/ repaired
 - 2 Existing brick cleaned/ repaired
 - 3 Selected painted render/concrete
 - 4 Selected window & door system
 - 5 Selected brick cladding
 - 6 Standing seam wall cladding
 - 7 Standing seam roof covering
 - 8 Existing door and windows retained / refurbished

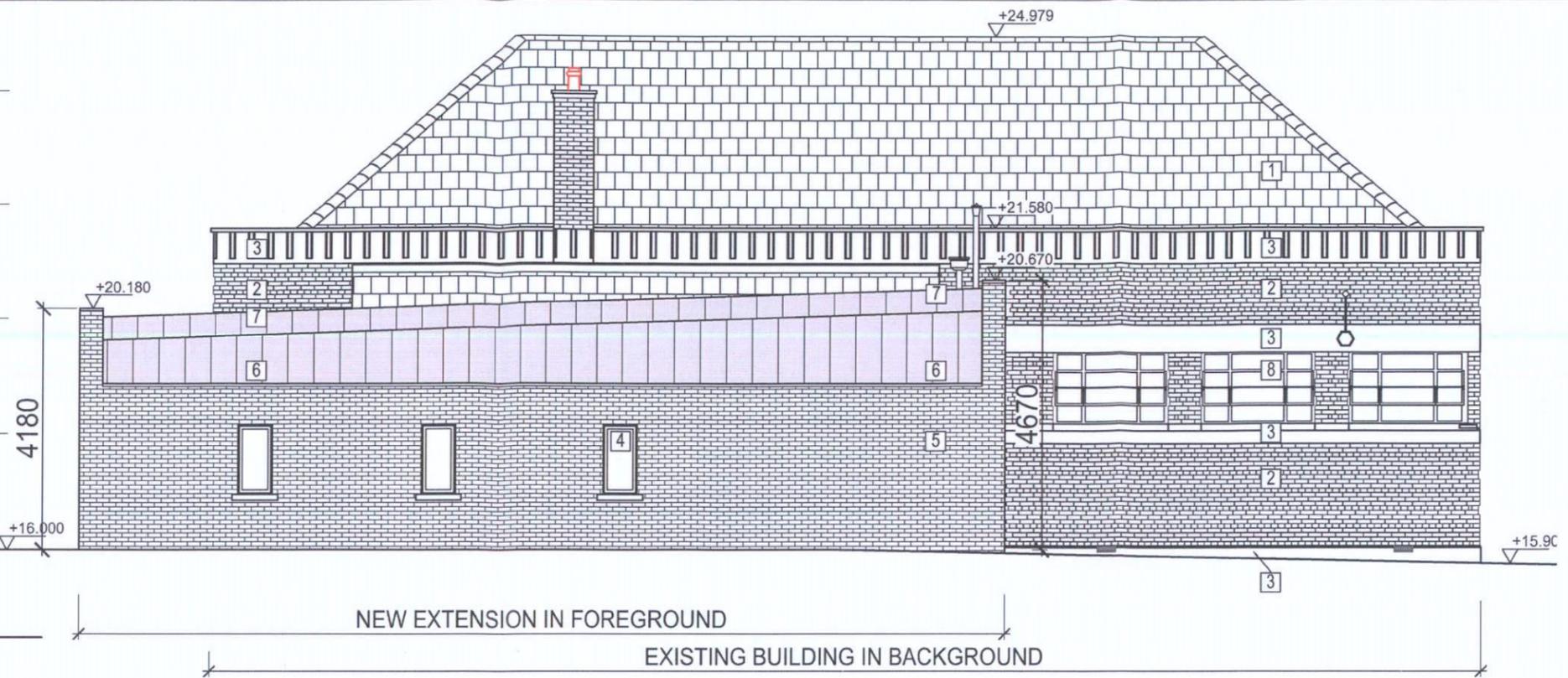
24.00

22.00

20.00

18.00

16.00



Proposed South Elevation

Scale 1:100 @ A3

24.00

22.00

20.00

18.00

16.00



Proposed West Elevation

Scale 1:100 @ A3

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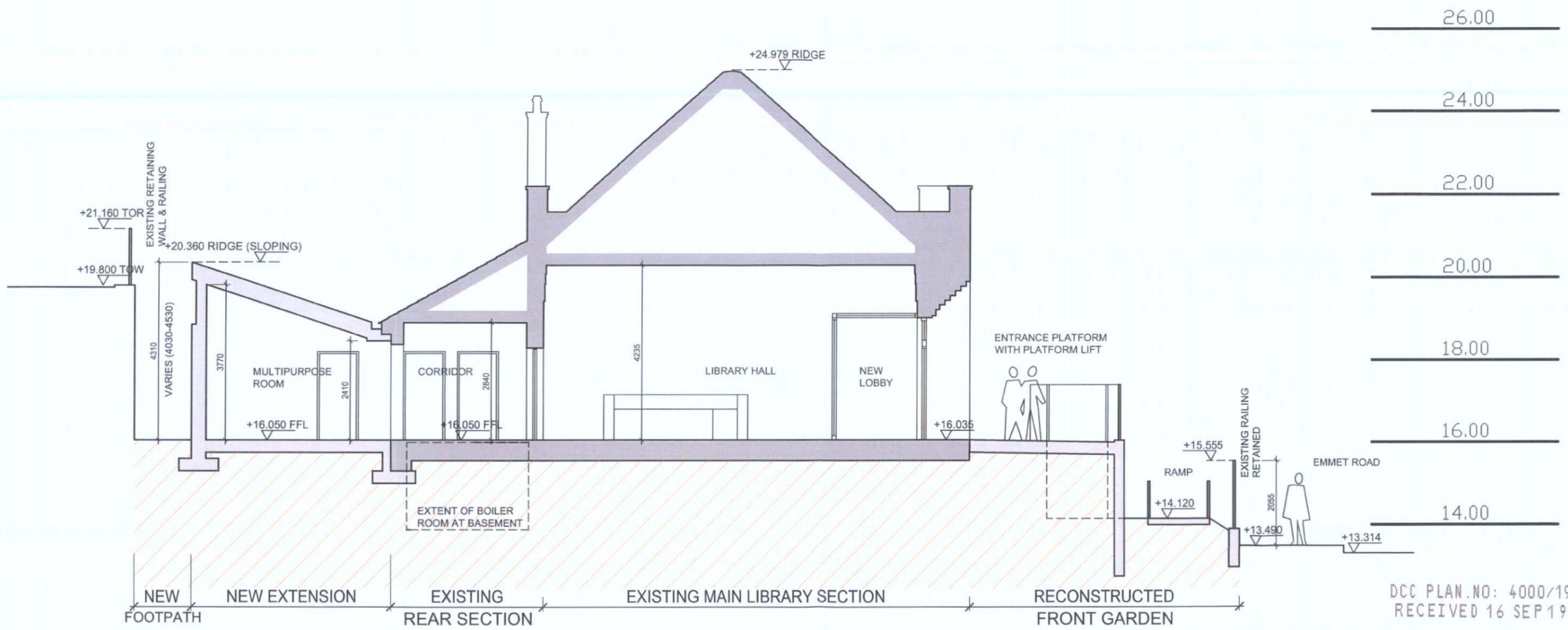
REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	

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	DRAWING: ELEVATIONS	Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	

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Proposed Section A-A
Scale 1:100 @ A3

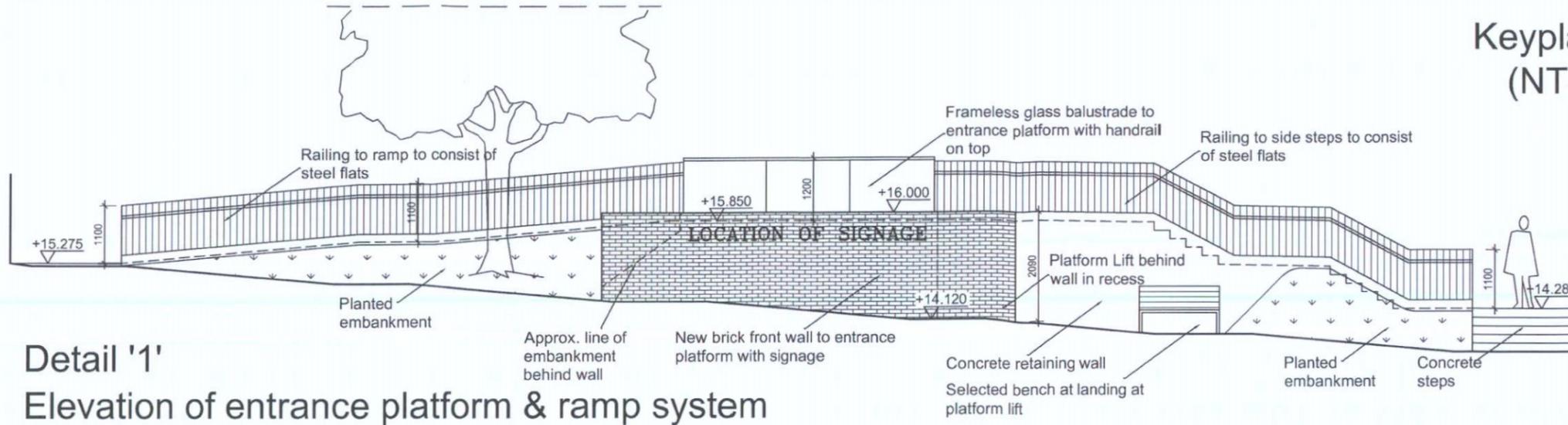
REVISIONS AFTER LAST PLOT:

Stage:
PART 8

REVISIONS AFTER LAST PLOT:

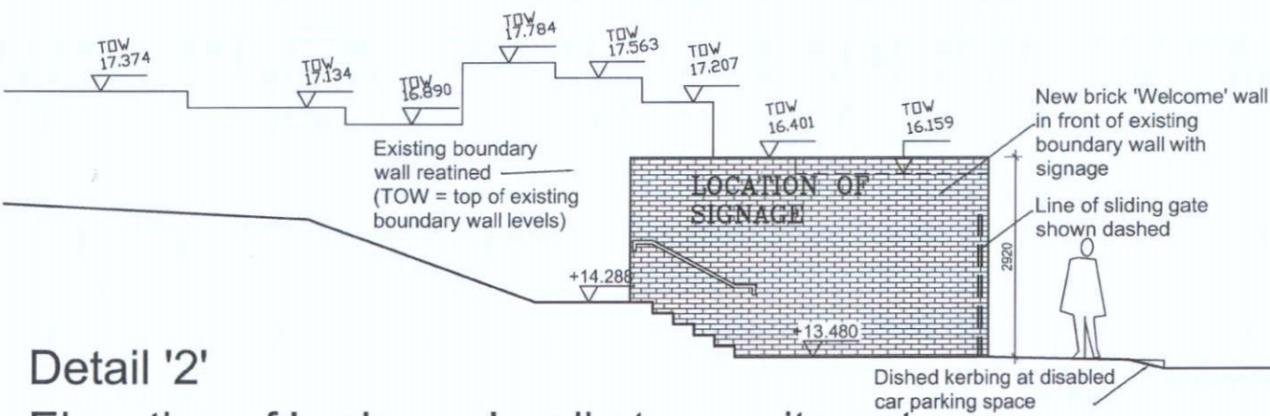
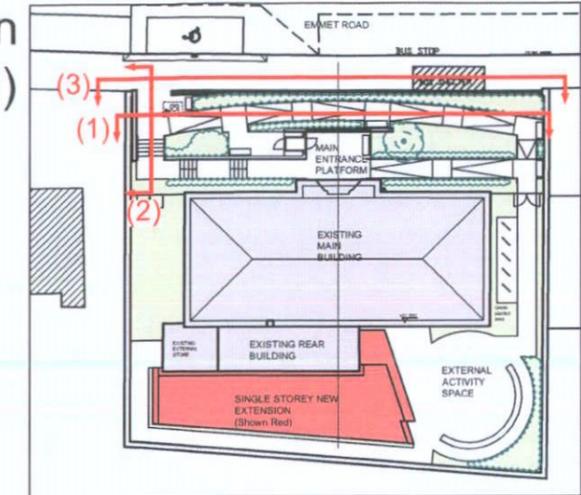
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	DRAWING: SECTION A-A	Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	

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Detail '1'
Elevation of entrance platform & ramp system

Keyplan
(NTS)

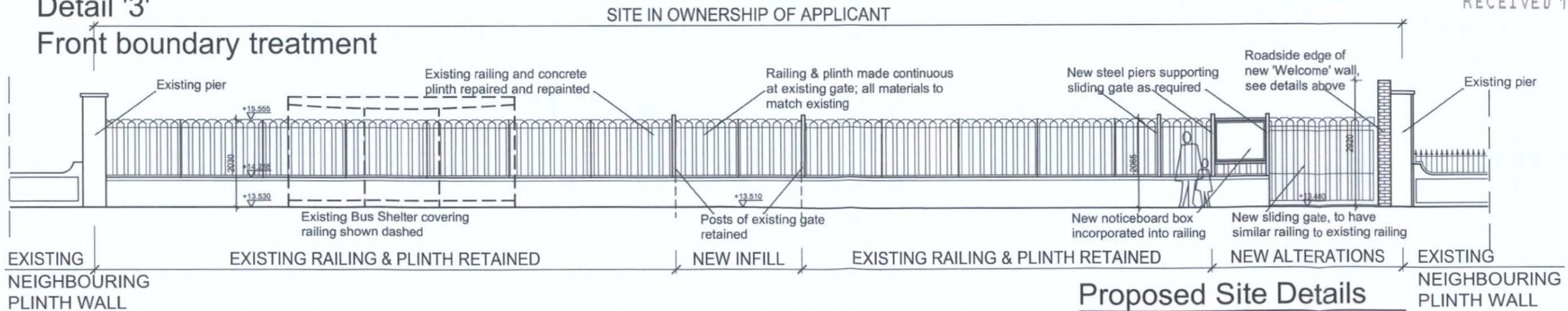


Detail '2'
Elevation of 'welcome' wall at new site entrance



Photos of existing railing and boundary walls

Detail '3'
Front boundary treatment



Proposed Site Details

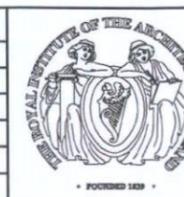
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REVISIONS AFTER LAST PLOT:

Stage:
PART 8

REVISIONS AFTER LAST PLOT:



PROJECT: Inchicore Library
34 Emmet Road, Dublin 8.
D08 ED66

DRAWING: SITE DETAILS

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DATE: 14/05/18	SCALE: 1:100 @A3
DRAWN: BK	JOB NO. 17001
K:17001P	DWG. NO. P-008
Revision	

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Front view from footpath at bus stop



Front view from footpath at new entrance

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Aerial view of proposal showing new external accessibility measures



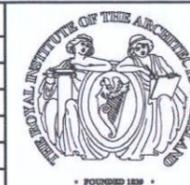
View of rear extension and yard

Artists's Impression of Proposal
NTS

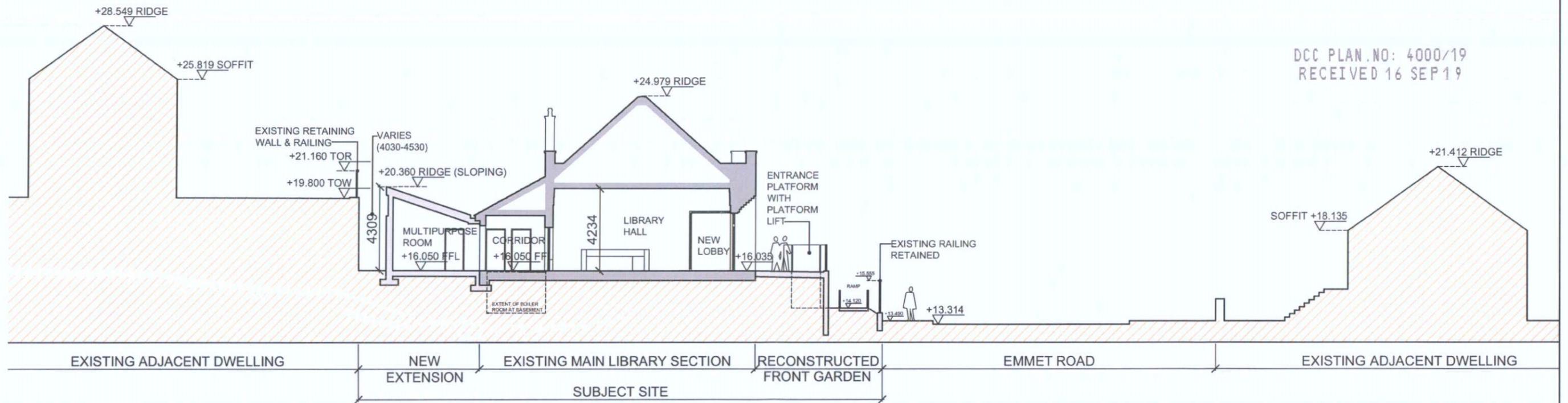
REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 14/05/18 DRAWN: BK K117001P	SCALE: NTS @A3 JOB NO. 17001 DWG. NO. P-009
DRAWING: ARTIST'S IMPRESSION OF PROPOSAL		Revision
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie



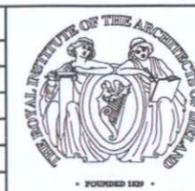
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Proposed Contextual Section A-A
Scale 1:200 @ A3

REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 09/08/18 DRAWN: PB K:1170011P	SCALE: 1:200 @A3 JOB NO. 17001 DWG. NO. P-010
DRAWING: Proposed Contextual Section A-A		Revision
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie